



ARCHITECTURAL

AND

LANDSCAPE COUNCIL

RULES AND REGULATIONS

UPDATED
January 2005

From time to time and in its sole discretion, the Job's Peak Ranch Architectural and Landscape Council (henceforth known as JPR-ALC), may adopt, amend and repeal by majority vote the rules and regulations, to be known as the JPR-ALC Rules and Regulations, setting forth in detail the fees to be charged for and procedures to be followed in submitting proposals to the JPR-ALC and the design and construction criteria that such proposals must satisfy. A copy of these JPR-ALC Rules, as they from time to time may be amended or repealed, shall be maintained in the office of the association and shall be available for inspection and copying by a Member at any reasonable time during the business hours of the association. Except for emergency repairs, no construction, alterations, repairs, excavations, grading, landscaping or other work on a Lot shall be commenced without the prior written approval of the JPR-ALC. The following minimum standards and restrictions shall apply to any work to be performed within Job's Peak Ranch.

DENSITY

No more than one single family dwelling unit shall be constructed within the defined Building Envelope on any defined lot. A guest facility may be allowed only with the express permission of the JPR-ALC.

JOINER OF LOTS

An Owner of two (2) or more contiguous Lots may apply to the JPR-ALC for permission to use such Lots as a site for a single family dwelling unit, which permission may (or may not) be granted in the sole discretion of the JPR-ALC. If the Council grants such permission with respect to any set of two (2) or more Lots such Lots shall be treated as one (1) Lot.

COMPLIANCE WITH LAWS

All Improvements shall be constructed in full compliance with all applicable zoning laws, building codes and other laws, ordinances and regulations applicable to the construction, use and occupancy of the Improvements.

PLACEMENT AND SHAPE OF IMPROVEMENTS

The placement and shape of Improvements on a Lot shall be effected and established in such a manner as approved by the JPR-ALC in its sole discretion, taking into account the topography of the Lot and aesthetic consideration and to be in compliance with the provisions of the Declaration, the Community Design Guidelines and these rules.

BUILDING ENVELOPE

Declarant has established a Building Envelope for each Lot. Such Building Envelope has been based on the topography of the Lot, its relationship to neighboring Lots, view corridors and any unique features that such Lot may have, such as trees, meadows, creek and rock outcroppings. The size and shape of Building Envelopes may vary from Lot to Lot. The JPR-ALC in its sole discretion, may permit minor encroachments into non-Building Envelope areas and shall be shown on approved plans. Such permission shall be in writing and signed by the chairperson of the JPR-ALC.

All site structures and other impervious surfaces will be confined to this Building Envelope, including residence, garages, privacy fencing, off-street parking, decks, patios, gazebos and arbors, pools, tennis courts, spas, trash enclosures, and utility sheds. Exceptions may include, but not be limited to: entry driveways, entry gates and pilasters, low output site lighting, leach fields, and utility service trenches.

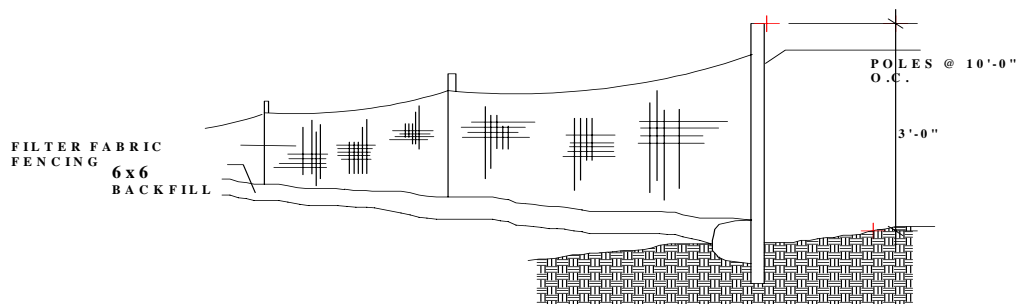
GRADING & DRAINAGE

To minimize grading, both interior and exterior spaces should relate to terraces that reflect natural grades. Where grading is required, slopes should be gently rounded to blend into the natural contours of the ground. Site grading design should also complement and reinforce the architectural and landscape character, by screening undesirable views of parking and storage areas, by helping to reduce the perceived height and mass of the architecture, and by providing transitions between different site uses.

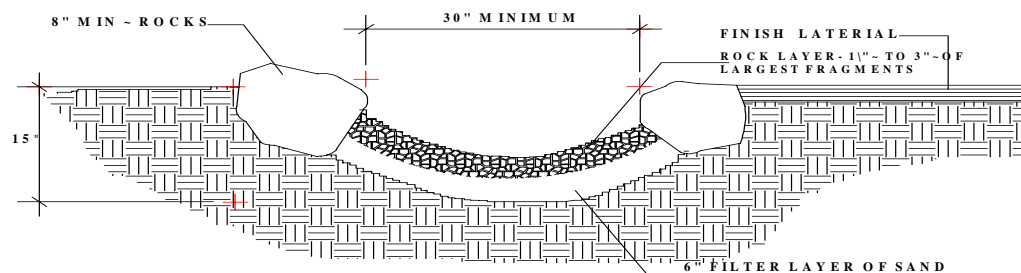
Graded slopes should not exceed 3:1 (run to rise), except where mechanical stabilization is used or to preserve significant existing trees. Note that geo-technical requirements may necessitate a lesser slope. All cuts and fills are to be staked by a licensed surveyor, and an engineered grading plan is required for sites with cuts or fills exceeding four (4) feet.

The control of water run-off and potential erosion should be a consideration both during construction and in final design of the home site. Natural surface drainage should be preserved whenever possible. Avoid concentrating surface drainage to reduce the erosion potential. Grades should not be designed which direct a concentrated flow of surface drainage over existing or proposed slopes. Avoid disrupting roadway drainage swales with driveways or planting material.

Soft contours and transitions in grade look much better and are easier to maintain than sharp angles cut into the land. Steep slopes (3:1 to 2:1) must be stabilized. This can be done by using plant materials such as native grasses or groundcover, or rock. Where large grade changes must occur (greater than 2:1), rock or timber retaining walls are required. The maximum height of retaining walls is 6 feet and these walls should be battered 10:1 at a minimum. Where required, successive terrace walls must be separated by at least 3 feet.

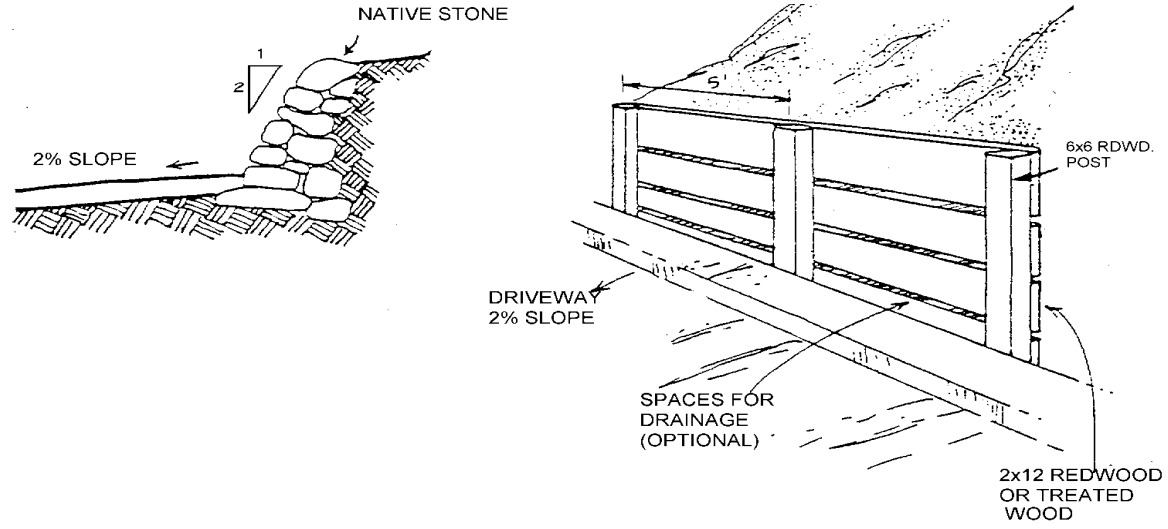


TEMPORARY EROSION CONTROL BARRIER

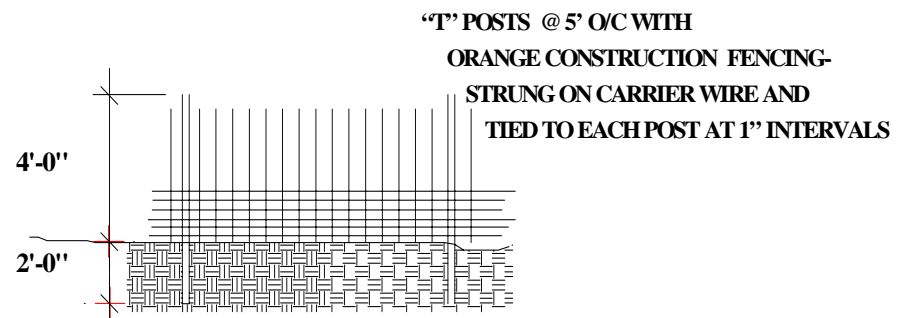
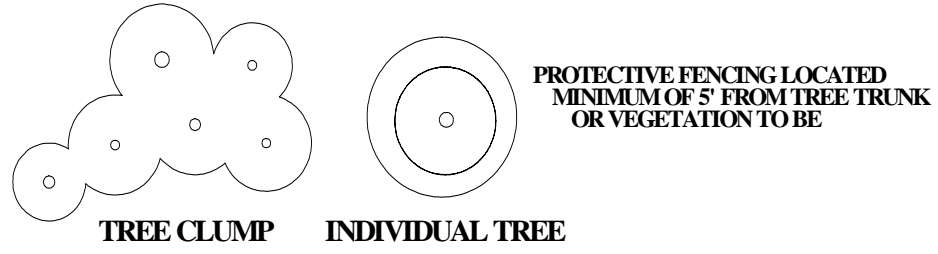


ROCK-LINED INFILTRATION TRENCH

Rip-rapping is the use of cobble-size rock, generally 6" - 10" in size, placed closely together on disturbed soils to prevent erosion. Rock riprap is generally the most effective erosion control device for slopes greater than 30%. It can also be used on less steep slopes and works well with seeding. Concrete can be used to fill in between the rocks to hold the riprap securely in place - a common practice on steep slopes.



The preservation of existing vegetation cover minimizes potential for erosion, so construction equipment should be limited to areas intended for specific site improvements, to minimize damage to existing vegetative cover. The designated building envelope defines the limit of construction activity. Other areas must be fenced off to limit disturbance.



TREE & VEGETATIVE PROTECTIVE FENCING

EROSION CONTROL

A program of temporary erosion control must be effected immediately after site grading is complete. All disturbed areas must be winterized for erosion control. This program should include at least one of the following techniques for stabilizing soil and preventing wind and water erosion:

- Hydromulching
- Wood chip mulch
- Netting, straw mulch
- Gravel mulch (suited to vehicle paths)
- Tacking agents.

In addition, one or more of the following methods shall be used to slow, filter, or stop sediments carried by run-off:

- Straw bale barriers
- Mirafi erosion fencing
- Filter berms
- Siltation berms

A program of permanent erosion control measures shall also be initiated. This program will, at a minimum, include:

- a) Slope stabilization structures, such as retaining walls and slope terraces in areas where the steepness or stability of cut slopes could result in slumping or slides.
- b) Run-off control structures, such as diversion dikes, infiltration trenches, and slotted pipes to slow, direct, and percolate water draining off of impervious surfaces.
- c) Run-off collection features, such as retention basins, grassy swales, and catch basins, to detain and infiltrate run-off.

RETAINING WALLS

Slopes cut for building or driveway construction are sometimes so steep that vegetation or riprapping alone cannot adequately protect them. Runoff from these over steepened slopes often erodes the toes of the slope, causing continued slope slippage. Retaining walls prevent toe erosion and slope slippage. They can be constructed using:

- Rocks
- Redwood or treated wood
- Rock-filled baskets (gabions)
- Railroad ties
- Concrete

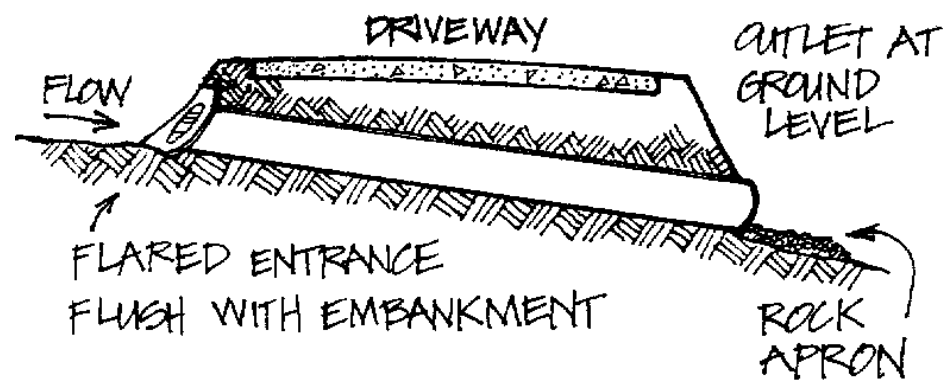
To construct a native rock retaining wall, use the following steps.

- a) Remove all large rocks from the eroding slope and stockpile on site.
- b) Dig a footing trench along the toe of the slope.
- c) Place the largest rocks in the trench with their longest axes perpendicular to the slope.
- d) Stack rocks layer-by-layer on top of the footing so that each rock has a solid bearing on the rocks below it.
- e) Fill a six-inch (6") space behind the rock wall with ½"-1" gravel and the balance of the retained slope with left over soil excavated from the site or imported for this purpose.
- f) Slope the ground at the base of the wall at a 2% grade away from the wall and stabilize it with vegetation or mulch. If a driveway is located at the base of the wall, pave it up to the wall or install a curb.

To construct a wood retaining wall, use the following steps:

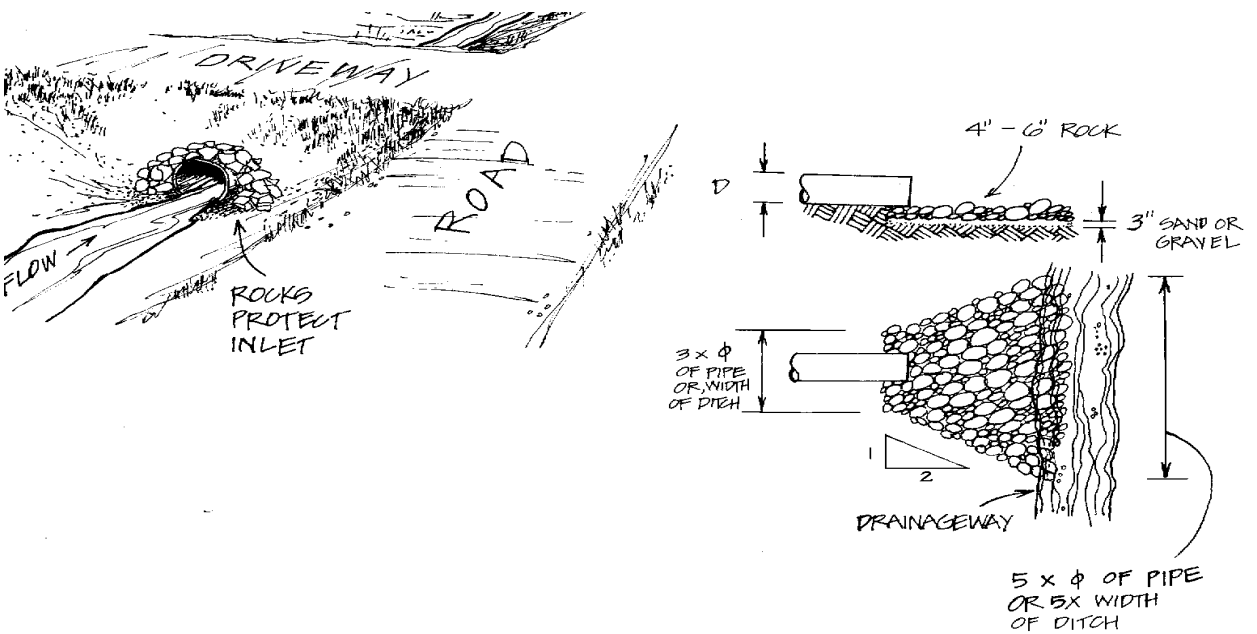
Materials: Redwood, cedar or treated wood are acceptable materials for wood retaining walls.

- a) Set 6" x 6" redwood or treated wood posts into concrete foundations at least 2' into ground. Space the posts 5' apart.
- b) Nail 2" x 12" redwood or treated planks to the upslope side of posts. Leave a small vertical space between planks to allow drainage at the base of the wall and between planks. You may want to backfill the space behind the wall with surplus soil from excavations.
- c) Slope the ground at base of the wall at a 2% grade away from the wall and stabilize it with vegetation or mulch. If a driveway is located at the base of the wall, pave it up to the wall or install a curb.



**PERMANENT CONTROL MEASURES:
DRIVEWAY AND PARKING AREA STABILIZATION**

As soon as driveways and parking areas are graded, pave or cover them with gravel to prevent soil erosion. Spread a 4" layer of 1/2" to 3/4" gravel over these areas.



CULVERTS

Size culverts to handle the peak flow during a heavy storm. The site engineer will size the culvert necessary for installation in roadside ditches along access roads. Where sizing requirements are not provided, use as a rule-of-thumb, a culvert with twice the cross-sectional area of the channel draining into it. The extra capacity is needed because of flow efficiency loss at the culvert's inlet. If you must construct a driveway and culvert across a roadside ditch, a civil engineer shall design the culvert and its outlet protector.

INLETS

Erosion frequently occurs at culvert entrances. Install a culvert with its inlet flush to the embankment. The edge of the pipe should be rounded or flared to improve flow into it. Place rocks around the inlet to prevent scour.

OUTLETS

Install all culverts with outlets at ground level, not suspended above the ground. Culverts must discharge to a stable drainage way. Because culverts generally cause flow velocities to increase, outlet protection is usually needed. Install a rock apron below the outlet as shown.

OUTLET PROTECTORS

An outlet protector, such as a rock apron, is a device for absorbing the energy of water discharging from a pipe or channel.

Where to use outlet protectors:

- Below culverts.
- Below sediment trap outlets.
- Where a steep or paved channel drains into an unlined or natural drainage way.

To construct a rock apron outlet protector, use the following steps:

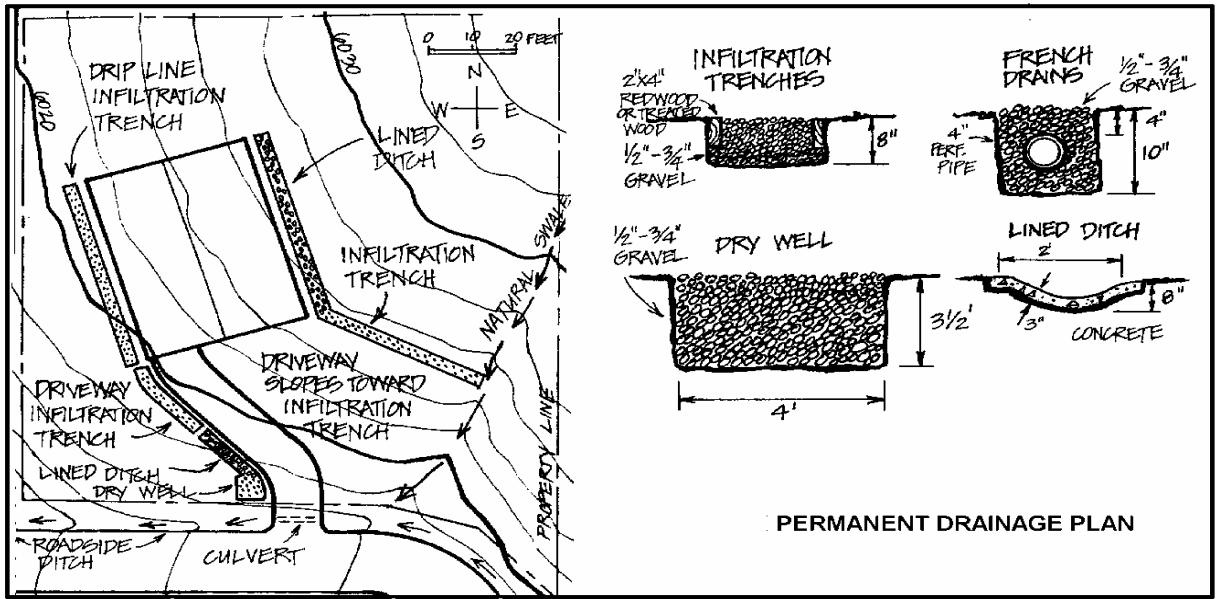
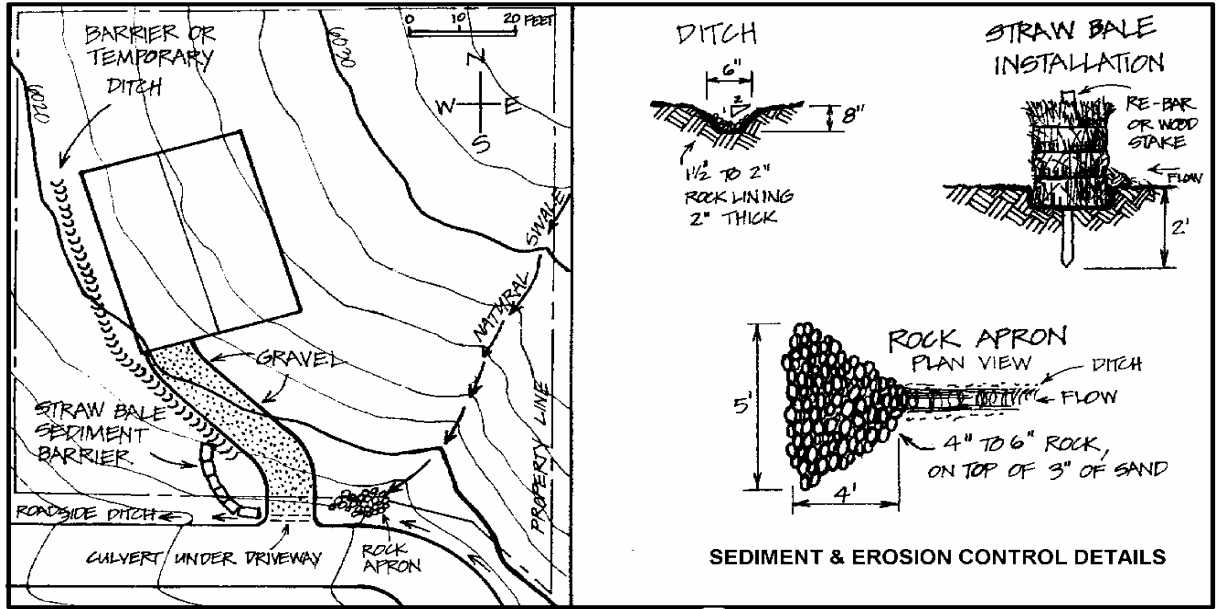
Note: The following description applies to a ditch or culvert discharging at the side of a drainage way. The ditch or culvert should end at the top of the bank of this drainage way.

- a) Place a 3" layer of sand or gravel in a trapezoidal shaped apron from the ditch or culvert to the middle of the drainage way. The apron width at a ditch should be as wide as the ditch. The apron width at a culvert should be 3 times the culvert's diameter. The apron should flare out at a ratio of 1' sideways for each 2' of length until the apron is 5 times the width of the ditch or culvert.
- b) Place a layer of 4" to 6" rocks on top of the apron. the top of the finished apron should be at the same level as the in-flowing ditch or culvert and should slope at the existing grade.

INFILTRATION SYSTEMS

An infiltration system is a device used to percolate runoff into the soil. A typical system is a rock-filled trench or basin (called a dry well). Runoff from all impervious surfaces, including roof tops, driveways and areas where the soil has been packed down must be infiltrated in some manner.

EXAMPLES OF INFILTRATION SYSTEMS:



REMOVAL OF TREES, ROCKS, SHRUBS OR OTHER NATURAL VEGETATION

All removal or disturbance of trees, rocks, shrubs or other natural vegetation from any Lot must be shown on the construction plans and approved by the JPR-ALC.

LIMITATION OF TURF AREA

Each Lot shall be limited to 4,000 square feet of lawn or turf which shall not be located outside the Building Envelope except within 20 feet of the entry driveway.

DWELLING UNIT SIZE

The gross square footage of living area of the dwelling unit to be constructed on each Lot shall be no less than 2,500 square feet nor more than 10,000 square feet. In no event shall the maximum square footage exceed 5% of the overall Lot area.

HEIGHT OF IMPROVEMENTS

The height of all dwelling units, garages and other buildings and structures on any Lot shall be determined by the JPR-ALC in its sole discretion in order to preserve the views from neighboring Lots and Common Areas and to minimize the impact of structures on sensitive natural areas within the Common Area. Single story homes are encouraged. No structure shall exceed the height as established by ordinances and regulations of Douglas County. In no event shall the height of any structure (excluding chimneys and vents) exceed thirty-five (35) feet from the natural grade directly below

CHIMNEYS

All chimney flues, except HVAC and plumbing flues or vents, must be encased in a shaft covered by wood, stucco, brick or stone. Chimneys must be of such a color as to blend aesthetically with the dwelling unit and must be equipped with spark arrestors consistent with the applicable Douglas County and fire protection district codes. The minimum outside dimensions of all chimneys must be two (2) feet by four (4) feet.

ROOFS

Roofing materials and colors must be submitted with the construction drawings and approved by the JPR-ALC. All roofing materials must comply with applicable fire protection district codes. Acceptable materials will include concrete shake, thick fiberglass shingles with shadow lines, metal or ribbed shingles with a twenty (20) year factory finish, synthetic shake shingles, wood fiber composition shingles or shakes or any other as approved by the JPR-ALC. For two (2) story homes, roofs shall be at the lower level wall height for not less than 50% of the perimeter.

Roof pitch must be consistent with the home's style and massing. Minimum and maximum (vertical to horizontal) pitches are 3:12 and 8:12. Once a roof pitch is established, it should be used consistently throughout unless a double-pitch roof is proposed. Flat roofs may be permitted for certain special design features of the homes, subject to JPR-ALC approval.

Overhangs are to be proportional to the underlying facade and in keeping with the architectural style proposed. Generous overhangs are encouraged to provide shade and minimize heat gain during the hot summer months.

Any rooftop equipment must be confined to roof planes that are not visible from the street, common areas, or neighboring Lots.

Rain gutters and down spouts should be integrated into the facade design and developed as a positive feature. Down spouts shall be incorporated into the drainage plan to prevent erosion. Exposed plastic pipe will not be permitted. Roof vents, standpipes and ornamental chimney caps are to be unobtrusive and of a color that matches the roof material color. Ornamental chimney caps are required to assist in screening spark arresters.

EXTERIOR WALLS AND TRIM

Natural wood siding, logs, natural brick, stone, stucco or other materials acceptable to the JPR-ALC are required for all exterior walls. Exterior colors must harmonize with the surrounding landscape. Gaudy or bright colors are not acceptable. All colors and trim must be approved by the JPR-ALC. All reflective metal, such as chimney caps, flashing, exhaust vents and pipes must be painted or acid etched to match or blend with surrounding materials. Aluminum windows, door frames, solar panels and skylights must have a compatible color. Steel window and door frames must be painted to match or blend with surrounding materials. All walls shall be articulated to avoid long flat facades. All door and window openings shall be consistently and compatibly designed on all sides of the structure with regard to proportions, shapes, lines and colors. The use of solar panels shall be subject to the approval of the JPR-ALC.

FENCING AND WALLS

Fencing outside the Building Envelope shall be permitted only if approved by the JPR-ALC.

LIGHTING

General – Exterior lighting for security and safety during ingress or egress from a home at Job’s Peak Ranch is encouraged. However, excessive building lighting, or lighting that causes “flooding” of large expanses, e.g. lawns, tennis courts, etc., is not acceptable. All exterior light fixtures shall be located and oriented to minimize light encroachment onto neighboring residences. The light source (filament, excited gas or emitter) of an exterior lamp should be hidden or diffused by a frosted bulb or frosted glass.

Building Lighting – The unobstructed light output from all building mounted fixtures must be directed downward away from adjacent lots, streets and open spaces, and may not be used to light walls or building elements for decorative purposes. Only warm white and natural light producing lamps with a maximum light output of 1,000 lumens per fixture (single or multiple lamp bulb) are allowed. Lighting should be confined to areas enclosed by walls or in the immediate vicinity of a doorway or stairway. Such lighting should only be energized when necessary, however, the use of motion detector switches is not recommended.

Other Exterior Lighting – A limited number of timer-controlled low output landscape light fixtures (200 lumens or less) are permitted within the building envelope. These include:

- ◆ Lamps in shielded fixtures less than 18” in height;
- ◆ Lamps in surface mounted fixtures;
- ◆ Lamps recessed in building soffits, overhangs or walls; and
- ◆ Lamps hidden by vegetation.

Such lighting shall be turned off at 10: 00 PM unless otherwise warranted. Additional exterior lighting (outside the building envelope) must be approved by the JPR-ALC.

Driveway & Walkway Lighting – Lighting from a hidden source (sconce or hooded fixture at ground level) is allowed at each entry driveway for the sole purpose of locating the entry and address information. A limited number of low-output fixtures (200 lumens or less) no more than 18” in height and placed at no less than 25 ft. intervals on alternating sides are permitted along walkways to allow for safe passage.

Temporary Lighting – Limited temporary lighting (holiday or party) is allowed provided that it is done in a tasteful manner and meets the General rules cited above. Such lighting should be located within the building envelope. Holiday lighting may be erected no more than two weeks before the holiday and must be dismantled within two weeks after the holiday.

PROHIBITED LIGHTING

The following lighting types are prohibited at Job's Peak Ranch:

- ◆ Metal Halide
- ◆ Quartz
- ◆ Mercury or Sodium Vapor
- ◆ Laser produced light
- ◆ Neon, or other similar light used for advertising or entertainment
- ◆ Searchlights of any type

WOOD STOVES AND FIREPLACE INSERTS

All wood stove and fireplace inserts shall meet or exceed the Douglas County requirements.

GARAGES

The improvements to be constructed on a lot shall include a garage that shall accommodate at least three (3) automobiles but not more than five (5). The location and orientation of garages and garage-door openings shall be designed to minimize the fronting of garage doors to streets. All exterior surfaces of garage doors shall be constructed of clear or stained wood or be wood-clad, (no solid-body paint) and are subject to approval by the JPR-ALC.

DRIVEWAYS

To create a streetscape that blends with the country setting at Job's Peak Ranch, driveway widths should be minimized. Maximum paved driveway width outside of the building envelope is (twelve) 12 feet, with (two) 2 foot wide gravel shoulders each side permitted in addition to the paved surface.

All driveways are to be of an approved hard surface, e.g. asphalt, concrete, brick, pavers, or other approved material, and shall extend from the street to the garage. Soil, decomposed granite, and similar surfaces are not considered appropriate.

Culverts shall be provided for driveways that cross drainage swales at the street edge or natural swales within the lot to allow for unobstructed drainage. Driveways shall be designed to minimize steep and slippery slopes and ice build-up. Driveway grade should not exceed 10% except in special cases. Garage location and orientation also should be considered in this regard.

Backing vehicles onto the street is not permitted. Turn-around capability must be provided in widened driveways or courtyards within the Building Envelope. Consideration should be given for a turn-around or hammerhead large enough for fire trucks.

On street parking is prohibited throughout the community. Guest parking areas should be screened from direct view of the street and neighboring properties.

AUXILIARY STRUCTURES AND SITE UTILITIES

Auxiliary structures, such as sport courts, arbors/gazebos, utility sheds, pool houses and the like, must all be contained within the Building Envelope as described above. Plans for such structures must be submitted to the JPR-ALC for review along with other required submittals.

All exterior solar and mechanical equipment shall be subdued and screened. All utility meters and appliances such as propane tanks shall also be located and designed to be screened.

Trash and utility areas should be located to avoid views from streets or adjacent Lots. Areas should be enclosed with fencing or screens which match architectural detailing and materials.

CONNECTION TO INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (ISDS)

The installation of on-site ISDS will be specifically limited to systems that incorporate denitrification principles or other systems approved for that specific site. Denitrification systems shall be those that are approved by the Declarant, Douglas County, Nevada State Health Department and the Nevada Division of Environmental Protection. The installation of these systems is to be the sole responsibility of the Owner. The Association will be responsible for annual inspections of the systems. The Owner of the Lot shall pay for any repairs deemed necessary.

LIQUID PROPANE TANK ENCLOSURES

All liquid propane tanks shall be enclosed, buried or otherwise screened in such a manner that they are, to the extent possible, not visible from any neighboring Lot or street. Enclosures will be constructed in accordance with the Nevada Division of Forestry requirements and shall be of materials approved by the JPR-ALC. Such enclosures shall consist of three (3) sides with the open side parallel to the longest dimension of the tank and shall maintain a minimum of three (3) feet clearance from the tank to the enclosure. The height of any such enclosure shall not exceed six (6) feet. The open side of the enclosure should be located at least 20 feet from and situated 90° to, any other structure to allow for easy access to the valve in the event of a fire.

CONNECTION TO COMMUNITY NATURAL GAS SYSTEM

The plumbing on every Lot shall be planned and installed to connect to a Community Natural Gas System when available, including the service lateral from the connection at the street to the house. Immediately upon the availability of a Community Natural Gas System to which a dwelling unit situated on a Lot can be connected, the Owner of such Lot shall, within one hundred twenty (120) days, effect or insure the effectuation of such connection and the cessation of use and proper removal of any liquid propane tank and enclosure to which such dwelling unit was connected.

LANDSCAPING AND REVEGETATION

Within twelve (12) months from the issuance of the certificate of occupancy or sale of the dwelling unit on a Lot, each Lot shall be completely revegetated and landscaped consistent with the approved landscaping plans submitted to the JPR-ALC. The landscaping plans shall be submitted to the JPR-ALC along with the original plans for the dwelling unit and shall include but not be limited to at least three (3) 6-foot evergreen or 2-1/2 inch caliper deciduous trees to be planted between the front line of the Lot and the dwelling unit and at least one (1) 15 gallon tree for every 50 feet of frontage along interior streets and cul-de-sacs. Spacing and locations of such trees may be altered to preserve views. Owners of Lots must utilize the list of acceptable plantings in order to incorporate native and drought-tolerant species in their landscaping plans. Use of colored ornamental rock to the exclusion of greenery is not acceptable.

MINIMUM DEFENSIBLE SPACE

In accordance with the Nevada Division of Forestry requirements, a fire break shall be maintained within thirty (30) feet of all structures. All other areas shall be cleared of any dead trees, limbs, brush or other dead vegetation and all thick and/or tall brush or grass shall be cut back.

SNOW STORAGE AREAS

Owners must provide adequate area within their parcel for storage of snow removed from driveways, parking areas, and other clear areas. Snow storage areas should be considered in the initial site planning of the home to insure the proper clearances for movement of snow removal equipment. Snow storage areas should not be located where mounded, compacted snow, or snow removal equipment may damage existing vegetation. Large boulders may be used to protect vegetation near driveway and parking areas from potential damage. Avoid locating snow storage areas near utility lines, propane tanks, and meters which may be damaged. Provide for proper drainage of melting snow.

CONSTRUCTION PROCEDURES

Before the commencement of any construction activity on any Lot, the Owner thereof or such Owner's contractor shall fence off with orange construction fencing those areas not essential for actual construction to protect the site from unnecessary damage to the existing foliage and to reduce dust and erosion. Roped off areas must not exceed 30' from the residence structure or septic drain field. The building site must be kept clean and in an orderly condition at all times. The contractor must have approved sanitary facilities on the site as well as a garbage dumpster, adequate fire protection and a suitable device for regular disposal and removal of trash. No construction materials may be dumped or stored on roadways, pathways, trails, open areas or any portion of the Common Area. Construction work hours are limited and shall be from 7:00 AM to 6:00 PM, Monday through Saturday. The contractor must take all necessary precautions to prevent mud, soil or other material from being tracked onto the streets or other portions of the Common Area. The JPR-ALC may require a contractor to submit an erosion protection plan if necessary. If required, such erosion protection plan shall be submitted before the commencement of any construction activity.

CONSTRUCTION COMPLETION DATE

Upon commencement of construction of any dwelling unit on any Lot, all reasonable speed and diligence shall be employed by the Owner to complete such construction, and in all cases such construction shall be completed within twelve (12) months. A six (6) month extension may be granted in special cases. See Failure to Complete Work below.

PARTIALLY CONSTRUCTED STRUCTURES

Other than new structural components approved by the JPR-ALC, no existing used or partially constructed structure of any type shall be moved from another location onto any Lot or elsewhere in the Job's Peak Ranch for any purpose whatsoever.

REDECORATIONS AND ALTERATIONS

If any redecoration, alteration or repainting in different colors of the exterior of any existing structure on any Lot is proposed to be made without remodeling or adding to or effecting structural changes to such existing structure, the Owner of such structure shall be required before making such redecoration or alteration to submit an exterior color scheme of such redecoration or alteration and obtain the written consent of the JPR-ALC to such redecoration or alteration. If an exterior redecoration or alteration will affect a remodeling of or structural changes to any existing structure on any Lot, the owner of such structure shall submit plans, specifications and

color samples to the JPR-ALC and obtain written consent before beginning requested improvements.

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

Any Owner of a Lot proposing to make Improvements or to perform any work that requires the approval of the JPR-ALC shall submit plans and specifications to that body. It is strongly recommended that all plans be prepared by architectural and engineering professionals and failure to do so may result in a longer review period. The JPR-ALC will require a reasonable fee to cover the cost of review by a licensed architect or other professionals who may or may not be a member of the JPR-ALC. The fee for the initial review and one re-review of plans and specifications for a new dwelling unit shall be Two Thousand Dollars (\$2000.00). Each subsequent review shall be Five Hundred Dollars (\$500.00) per review. To review plans and specifications in connection with remodeling, the initial minimum fee shall be Five Hundred Dollars (\$500.00). The JPR-ALC may require deposits, subject to refund, for conformance inspections and clean-up and other costs incurred. **An Owner shall obtain no building permit without obtaining written final approval of the JPR-ALC as described herein.**

LANDSCAPE DEPOSIT FEE: To facilitate the timely completion of landscape improvements within the community, a Five Thousand Dollar (\$5000.00) refundable fee shall be made to the JPR-CO when building plans are submitted to the ALC for approval. Upon certificate of occupancy by Douglas County and final sign-off by the ALC, said deposit shall be refunded to the Owner.

WATER CONNECTION FEE: Water connection fee as determined by the Five Creek Water Company shall be payable upon issuance of a building permit by Douglas County. Current charges are Five Thousand Four Hundred Dollars (\$5400.00) per connection.

WATER USAGE FEES: Monthly water usage fees as determined by Five Creek Water Company shall be payable upon issuance of a building permit by Douglas County. Current charges are Sixty Five Dollars (\$65.00) per month.

FAILURE TO COMPLETE WORK

The Owner shall in any event complete the construction, reconstruction, refinishing or alteration of any improvement within one (1) year after commencing its construction, except and for so long as such completion would result in great hardship to the Owner or is rendered impossible due to strikes, fires, national emergencies, natural calamities or other supervening forces beyond the control of the Owner or his agents. The landscaping (as approved by the JPR-ALC) shall be completed within twelve (12) months after the issuance of a certificate of occupancy for the initial completed dwelling unit. Landscaping that is required after the remodeling of any dwelling unit on a Lot shall be completed within the time prescribed by the JPR-ALC. If the Owner fails to complete landscaping as prescribed herein, the JPR-ALC shall impose a fine of Five hundred dollars (\$500) per month until such landscaping is completed.

BASIS FOR APPROVAL OF IMPROVEMENTS

In their sole discretion, a majority of the JPR-ALC may determine that the proposed improvements or other work, modification, or alteration would be compatible with; a) the other Lots and improvements in the Community and, b) the purposes of these rules as to the quality of workmanship and materials, harmony of external design with existing structures, and location with respect to topography and finished grade elevations.

BASIS FOR DISAPPROVAL OF PROPOSED IMPROVEMENTS

The JPR-ALC may disapprove any proposal on aesthetic grounds and more specifically: (a) because of the reasonable dissatisfaction of the JPR-ALC with the location of the proposed structure, having in mind the character of the neighborhood in which it is proposed to be erected, the materials of which it is to be built, the harmony thereof with its surroundings and the effect of the building or other structures as planned on the view from the adjacent or neighboring Lots or the Common Area; or (b) because of non-compliance with any of the specific conditions or restrictions contained in the Declaration, the Community Design Guidelines or these Rules.

PROCEEDING WITH WORK

Upon receipt of approval from the JPR-ALC, the Owner shall, as soon as practicable, satisfy all of the conditions of the approval and diligently proceed with the commencement and completion of all construction, reconstruction, refinishing, alterations and excavations pursuant to the approval. In all cases, construction of the approved improvements shall commence within one (1) year from the date of such approval. If the Owner fails to comply, any approval of the JPR-ALC may be deemed revoked unless the JPR-ALC, upon written request by the Owner made before the expiration of the one-year period, extends the time for such commencement. No such extension shall be granted except upon a finding by the JPR-ALC that no change in the circumstances upon which the original approval was granted has occurred.

INSPECTION OF WORK AND NON-COMPLIANCE

Inspection of work and correction of defects therein shall proceed as follows: An authorized representative of the JPR-ALC shall have access to the work in progress to allow for inspections during the course of construction to insure compliance with the approved plans.

Upon the completion of any construction or improvements for which approval of the JPR-ALC is required or was obtained, and after all construction debris and materials have been removed from the site, the Owner shall give written notice thereof to the Council. The JPR-ALC or its duly authorized representative may (but shall not be obliged to) inspect such Improvements to determine whether such Improvements were completed according to the approved plans. If the JPR-ALC finds that such construction or refinishing was not done in substantial compliance with the approved plans, it shall notify the Owner in writing of such non-compliance specifying particulars of such non-compliance, and shall require the Owner to remedy such non-compliance.

If upon the expiration of sixty (60) days from the date of such notification the Owner has failed to remedy such non-compliance, the JPR-ALC shall notify the Job's Peak Ranch Community Association Board of Directors in writing of such failure. The Board then shall set a date on which a hearing shall be held regarding the alleged non-compliance. The hearing date shall be not more than thirty (30) days nor less than fifteen (15) days after the date on which the JPR-ALC gives notice of the non-compliance to the Board. The Board shall give notice of the hearing date at least ten (10) days in advance thereof to the Owner, the JPR-ALC and, in the discretion of the Board, to any other interested party.

At the hearing, the Owner, the JPR-ALC and, in the Board's discretion, any other interested person may present information relevant to the question of the alleged non-compliance. After considering all of such information, the Board shall determine whether a non-compliance exists or has occurred and, if so, the nature thereof and the estimated cost of correcting or removing the same. If a non-compliance exists, the Board shall require the Owner to remedy or remove the

same within a period of not more than forty-five (45) days from the date of the Board's ruling. If the Owner does not comply with the Board's ruling within such period or within any extension of such period that the Board, in its sole discretion, may grant, then the Board, at its option, may remove the non-complying improvement or remedy the non-compliance and/or fine the Owner. Thereafter, the Owner shall reimburse the Association for all expenses incurred in connection therewith upon demand. If such expenses are not repaid promptly by the Owner to the Association, the Board shall levy a special reimbursement assessment against such Owner.

If for any reason the JPR-ALC fails to notify the Owner of any non-compliance within ninety (90) days after receipt of the notice of completion from the Owner, then the improvement shall be deemed to be constructed in accordance with the approved plans.

LIABILITY

Provided that the JPR-ALC or a particular member of the JPR-ALC has acted in good faith on the basis of information possessed by the JPR-ALC or such member, as the case may be, then neither the JPR-ALC nor any member thereof shall be liable to the Association, to any Owner or to any other person for any damage, loss or prejudice suffered or claimed on account of (a) the approval or disapproval of any plan, drawing or specification, whether or not defective, with respect to the construction or performance of any work, whether or not such performance complied with any approved plan, drawing or specification; (b) the development of any property subject to this Declaration; or whether or not the facts therein are correct. Without limiting the generality of any of the foregoing, the JPR-ALC and any member thereof may, but is not required to, consult with or hear the views of the Association or any Owner with respect to any plan, drawing, specification or any other proposal submitted to the JPR-ALC.

COMPENSATION FOR MEMBERS OF THE ARCHITECTURAL AND LANDSCAPE COUNCIL

The Board may establish fees or compensation to be paid to some or all of the Members of the JPR-ALC. In the event that professionals who are not Owners of Lots are members of the JPR-ALC, or are retained by the JPR-ALC, they shall be entitled to reasonable compensation as established by the Board. The Board shall have authority to establish fees for the review and processing of the plans in such amount as to pay for the reasonable compensation to some or all of the members of the JPR-ALC.

SUMMARY

The Community Design Guidelines and the Architecture and Landscape Rules are intended to provide guidance to Owners, their architects and builders regarding matters of particular concern to the Reviewer in considering applications hereunder; however, they are not the exclusive basis for decisions of the Reviewer and compliance with the Community Design Guidelines and Architecture and Landscape Rules does not guarantee approval of any application.

FINES

The JPR-ALC (Architectural and Landscaping Council) shall have the right to levy fines for violations against the Job's Peak Ranch Guidelines and CC&R's as follow:

Nuisance Issue - \$100.00 per incident.

Violations include: Loud radios or music, pets not properly restrained, construction debris not properly disposed or removed in a timely manner, unauthorized/unapproved parking, trespass onto neighboring homesites... or any similar occurrences.

Any damage that may result from violations to a neighboring property will be fined in addition to the cost of repair. Loose debris that can blow onto a neighboring property can NEVER be left on the construction site.

Unauthorized Tree, Bush, Limb Removal - \$150.00 to \$1,500.00

\$150 per incident/tree for failure to properly dispose of tree debris and/or removal of healthy limbs.

\$500 per tree for removal of tree outside Building Envelope (over 6" diameter) and excessive bush removal.

\$1,500 per tree for tree removal in Common Area (over 6" diameter).

Under NO circumstances shall trees, limbs or bushes be removed from Common Areas. Any violation can result in the fine imposition as above in addition to requiring equal replacement.

Unauthorized Earthwork, Site Alteration & Stream Encroachment Fine- \$1,500.00

Unauthorized grading and/or trenching of any area outside of Building Envelope. Alteration of Stream Zones.

Construction Violation Fine - \$500.00 to \$1,500.00

\$500 for Unapproved *NEW* minor alterations including Sheds and Decks

\$1500 for Unapproved *NEW* Additions up to/including Guest House, Garage, Workshops

Deviations from Approved Plans Fine - \$500.00

Unapproved changes from original plans *AND* these same changes may be subject to an additional fine by the JPR-ALC if an order is required to enforce corrective action.

All Fines and finable offenses are subject to change per quorum vote by the JPR-ALC.

DESIGN REVIEW AND APPROVAL PROCEDURES

The JPR-ALC shall evaluate development plans and accompanying information submitted by owners for adherence to the standards and criteria set forth in this document, the CC&R's and other such criteria and standards as used by the JPR-ALC. The JPR-ALC shall interpret these standards and criteria, provide guidance to builders and/or owners, and may approve deviations and variances where special conditions or undue hardship arise. The JPR-ALC must review and approve all new homes, landscaping, remodeling, additions, fencing, and color changes prior to any work being performed. Builders and/or owners have the ultimate responsibility to ensure that actual construction and ongoing practices and procedures comply with the standards and criteria set forth herein.

SUBMITTAL REQUIREMENTS

- **Overall Process**

The JPR-ALC shall review each submittal and respond, either authorizing continuation through the next phase of the review process or rejecting such submittal, along with reasons therefor. Unapproved submissions shall be revised and resubmitted for review and approval. Approvals will be issued in writing and shall in no way constitute a representation or acknowledgement that the submission is in compliance with applicable ordinances, codes and/or laws, and shall not relieve the builder, architect, or owner of its responsibility and liability for adherence to any applicable ordinances, codes, and laws.

In the event that the information submitted to the JPR-ALC is, in the JPR-ALC's opinion, incomplete or insufficient in any manner, the JPR-ALC may request and require the submission of additional or supplemental information.

- **Preliminary Submittal**

It is strongly recommended that preliminary plans be submitted for review on an informal basis. The plans shall be to scale, on 11x17 size paper and consist of the site plan, grading plan, floor plan, elevations, location of driveway and location of all improvements within the Building Envelope.

- **Design Submittal**

Upon completion of the design, the builder and/or owner shall submit four (4) copies stamped by a registered Architect, Engineer, Landscape Architect or licensed residential designer as appropriate. Prior to scheduling the review, the owner and/or builder shall submit the non-refundable review fee, the landscape deposit fee, and the water connection fee payable as follows:

- Review Fee payable to: JPR-ALC
- Landscape Deposit payable to: JPR Community Owner's Association (COA)
- Water Connection Fee payable to: Five Creek Water Company

The submitted plans must include the following: (see Appendix A)

- a) Detailed descriptions of the proposed development in terms of: Lot number and APN; owner name, address and telephone number; architect's, landscape architect's and engineer's name, address and telephone number; size of Lot; relationship of structures, roads and open space; the location, size (height and floor area) and function of proposed facilities, the specific disposition of the various elements of the proposed improvements on the property, and the relationship of those elements to adjacent properties.
- b) Final site plan (1' = 20ft) for Lot with north arrow and scale indicating: site boundaries, proposed buildings, facilities, drainage ways, landscaped areas, fences, walls, signs, recreational areas, and other site improvements, development phases, and proposed vehicular and pedestrian access and circulation.
- c) Final grading plan (1" = 10 ft.) showing: proposed buildings, facilities, existing topography, proposed grading topography, and cut and fill detail with ratios, walls, and other site improvements;
- d) Site cross-sections showing the relationship of the proposed building to existing and proposed grades.
- e) A final utilities/services plan and report indicating: water connections, septic tank and leach field location, propane tank enclosure, and electrical requirements.
- f) Final architectural plans and engineering drawings (1/4" = 1 ft.) north arrow and scale details, calculations and specifications required for approvals and construction of proposed improvements indicating: floor and roof plans, exterior building materials, colors and textures, exterior building lighting, architectural sections and elevations, underground utilities and designs for site lighting.
- g) Samples of proposed materials and colors for the exterior surfaces of buildings, roofs, walls, fences, driveways, walkways, etc. (Please note: Only one copy of material/color sample displays is required).
- h) Final landscape plans (1' = 10 ft.) for individual Lots, arrow, scale indicating: the location and identification of plant material, existing and proposed grading and drainage, installation plans/irrigation details, site lighting and irrigation installation design and system.

- i) At the discretion of the builder and/or owner, or if requested by the JPR-ALC, cross-sections, renderings, perspective sketches and a massing model may also be submitted to clarify design intent.
- j) Written documentation by the builder and/or owner that they have complied with applicable codes and ordinances. Should the builder and/or owner intend to request a variance from local codes or ordinances, they should provide a detailed explanation of the rationale for the variance request.
- k) An updated schedule showing permitting and construction scheduling including target dates for the beginning and completion of construction.
- l) Any other items required by the Buyer's Purchase Agreement, the CC&R's, supplemental declarations, and/or the JPR-ALC.

- **Submission of Plans to Douglas County**

Upon approval of final design by the JPR-ALC, the builder and/or owner will be supplied with (2) two sets of plans and specifications stamped "JPR-ALC Approved" and a "Will Serve" letter from Five Creek Water Company for submission to public agencies having jurisdiction. Approval by the JPR-ALC does not assure compliance with the requirements of the various jurisdictional agencies. Where applicable requirements and codes conflict or contrast with the requirements of these development standards and design criteria, the more stringent provisions shall govern. Each participating builder and/or owner shall be responsible for compliance with zoning regulations, building codes, subdivision control standards and any other public regulations applicable at the time of purchase and development. Approval of a builder and/or owner's plans and specifications by the JPR-ALC does not relieve or superseded other approval requirements by the authorities having jurisdiction. Once a builder/and or Owner has received approval from the County and other public agencies having jurisdiction over the project, he/she shall submit to the JPR-ALC the following items:

- a) Copies of the building permit and other approvals that have been received.
- b) Written notification of any/all changes that were made subsequent to the submittal of the design plans including explanatory exhibits and/or new material and color samples which may be required or requested to clarify these changes. The ALC may also require a meeting with the builder/Owner and members of their design team to discuss deviations from the final design submission.

- **Construction Monitoring**

A representative of the JPR-ALC may monitor and observe the construction process for consistency with the approved documents and these development standards and design criteria. The builder and/or Owner shall supply written certification by an appropriate licensed architect, engineer, landscape architect or contractor that all construction companies are in compliance with the approved plans, specifications and these guidelines at the completion of the construction process.

- **Final Inspection**

Final inspection of one or more completed buildings will be scheduled upon receipt by the ALC of notification of construction completion and submission of one (1) copy of a Certificate of Occupancy (Cof O) and one (1) copy of as-built plans. Final inspection can only occur if contractors have completed all construction and site work (except landscaping which must be completed in accordance with the timing described herein, site cleaned of debris, and removal of any temporary utilities.

- **Controlled Access Gate**

Each owner of a Lot shall be given one (1) access device upon request. Any additional access devices, requested by owner, may be purchased at cost through the JPR-COA. Maintenance of the Controlled Access Gates shall be borne by the JPR-COA.

LOT LANDSCAPE AREAS

Each Lot has a number of landscape areas which must be treated differently.

NATURAL AREAS

Definition: Areas of natural vegetation outside of the Building Envelopes which in all cases must be maintained in their natural state as a permanent feature of the landscape.

- a) The natural areas on a Lot should remain free from any Improvements and any scars resulting from construction. As long as the vegetation and land surface are not permanently damaged, it is possible to clean and trim natural areas to accelerate recuperation.
- b) Landscaping in the natural areas to repair vegetation which has been destroyed or to enhance barren areas with indigenous vegetation is encouraged.
- c) Repair and maintenance of natural areas on the Lot is the responsibility of the Lot owner.
- d) Under no circumstances will alteration of grading or planting be allowed in the stream corridors and drainage easements.

TRANSITION AREAS

Definition: During construction, this is the area between the construction fence and the wall of a residence or improvement. This area must be restored to a natural condition upon completion of construction.

PRIVATE AREAS

Definition: Enclosed spaces within the Building Envelope. Private areas can include courtyards, atriums, pool areas, or the area behind a wall where non-indigenous plants would be appropriate despite their increased watering needs. Private areas have few restrictions in the plants, shrubs, and trees that can be planted therein. Whereas native plants are encouraged, owners may design their private areas to suit their preference.

- a) All plants which are visible from a street, public area, or from an adjacent Lot must be on the approved native plants list.
- b) Non-native trees may not, at mature height, grow above the roofline of the residence. If planting non-native trees, select species which at maturity will not grow higher than the residence.
- c) Views from the street of grass lawns within the private areas should be minimized.
- d) Gravel, rock, crushed or decomposed granite or other such material as well as wood chips or other similar mulches or groundcovers, or non-native plant materials or plants from the prohibited list, are not permitted outside of the private areas.

THE PLANT COMMUNITIES OF JOB'S PEAK RANCH

The landscape concept for Job's Peak Ranch involves extending the native plant communities found in the upper portions of the property into the residential areas found throughout the site.

- a) The major stream corridors on the site as determined by easements shall be maintained in their natural state.
- b) Layout of individual Building Envelopes has been designed to protect natural drainage systems. These drainage systems should remain in a natural state, with no vegetation or land form damage without JPR-ALC approval.

PLANTING GUIDELINES

- No planting or removal of planting will be allowed outside of the Building Envelope and access corridor (driveway) except for reasons of landscape restoration and wildlife enhancement.
- All Improvements should be sited to avoid existing trees if at all possible. It is recommended that reasonable efforts be made to transplant all significant and transplantable materials.
- Completed and sold dwelling units must have landscaping completed within twelve (12) months of Certificate of Occupancy.
- Competent professionals should be consulted prior to transplanting any natural materials. The JPR-ALC may require review, on a case by case basis, of the need to replace any plant which dies during transplanting with a plant of the same species and size.
- The use of berms as landscape features is encouraged if continuous expanses of landform can be created to look natural as opposed to contrived or manmade. Small irregular hummock type landforms are not allowed. Architectural or structured berms (i.e., retaining walls, earth buildings, sculptural landform, etc.) may be allowed if they are an integral part of the architecture and landscape of a Lot.
- Residential Lots shall be maintained in a neat and attractive condition. Minimum requirements include replacing dead or dying plant materials, watering and general clean-up. A Notice of Completion from the landscape architect, contractor, or other person installing the landscaping shall be filed with the JPR-ALC upon completion of the landscaping.
- Approved species shall be appropriately selected from the Approved Native Plant List.
- All landscaping materials installed within the Building Envelope must comply with the following minimum size standards:
 - a) Deciduous Trees-----2-1/2" caliper
 - b) Coniferous Trees -----6' height
 - c) Shrubs -----5 gallon
 - d) Groundcovers-----4" pot

CONSERVATION OF LANDSCAPING MATERIALS

Other responsibilities of contractor and owner during construction:

- a) Owners and contractors are advised that Job's Peak Ranch contains valuable native plants and other landscaping materials that should be absolutely protected during construction. These materials include topsoil, rock outcroppings, boulders, and plant materials.
- b) Materials that will not be removed should be marked and protected by flagging, fencing, or barriers. The JPR-ALC shall have the right to require the owner to flag

major terrain features or plants which are to be fenced off for protection during construction.

- c) Any trees or branches removed during construction must be promptly cleaned up and removed immediately from the construction site.
- d) All appropriate measures shall be taken to control erosion during the construction period to minimize damage to the site, prevent siltation of stream corridors and other adjoining areas, and minimize impact on water quality. Temporary barriers such as hay bales and drainage structures, and/or temporary sediment ponds should be used.

IRRIGATION

Automatic irrigation systems shall be installed to maximize landscape image and conserve water. Specific irrigation requirements are as follows:

- a) Overhead spray and chip irrigation systems are required in all landscaped areas.
- b) Temporary irrigation systems will be reviewed on a case by case basis.
- c) Head to head coverage will be required in all turn areas. Systems shall be designed so that peak summertime irrigation can be completed between the hours of 12 midnight and 6:00 am.
- d) Dedicated irrigation taps shall be utilized. No "stacking" of irrigation taps onto domestic water services will be allowed.
- e) Pressure vacuum breaker (PVB) or reduced pressure backflow preventer (RP) is required for all residential irrigation. Atmospheric breakers are not allowed.
- f) An electric, solid state controller is required and shall be equipped with a master valve terminal and at least two fully independent programs, with a minimum of three daily start times per program.
- g) All turfgrass irrigation shall utilize remote electric control valves installed in valve boxes. No manual valves are allowed.
- h) A "master" electric control valve shall be installed immediately downstream of each backflow preventer, if any foundation structure is presented within irrigated area. The valve must be capable of fully opening under the lowest irrigation system designed flows.
- i) Drip zones shall be designed so that additional emitters to trees can be installed as the tree matures.

APPROVED NATIVE PLANT LIST

The JPR-ALC has deemed the plants included in the following list to be indigenous to and compatible with the Job's Peak Ranch environment and encourages their use.

Scientific Name

Common Name

Trees:

Abies concolor	White Fir
Alnus	Mountain Alder
Amelanchier alnifolia	Serviceberry
Juniperus communis	Common juniper
Juniperus scopulorum	Rocky Mountain Juniper
Pinus jeffrey	Jeffrey Pine
Pinus ponderosa	Ponderosa Pine
Pinus resinosa	Red Pine
Populus tremuloides	Quaking Aspen
Pulus trichocarpa	Black Cottonwood
Salix	Scholar Willow

Shrubs:

Arctostaphylos patula
 Arctostaphylos pungens
 Artemisia tridentata
 Atriplex canescens
 Cercocarpus ledifolius
 Chrysothamnus nauseosus
 Holodiscus dumosus
 Potentilla fruiticosa
 Potentilla gracilis
 Prunus virginiana
 Purshia tridentata
 Ribes aureum
 Ribes inerme
 Rosa rugosa
 Rosa woodsii
 Rubus idaeus
 Symphoricarpos albus

Grasses:

Agropyron intermedium
 Andropogon scoparius
 Andropogon barbinodis
 Bromus inermis
 Buchloe dactyloides
 Dactylis glomerata
 Oryzopsis humenoides
 Phleum pratense

Wildflowers:

Aquilegia caerulea
 Aster alpinus
 Aster scopulorum
 Campanula rotundifolia
 Chrysanthemum leucanthemum
 Erigeron aphanaltis
 Erigeron asperugineus
 Fragaria ovalis
 Iris missouriensis
 Limum perenne
 Lithophragma species
 Lupinus aridus
 Machaeranthera bigelovii
 Mahonia repens
 Melan podium leucanthum
 Penstemon alpinus
 Penstemon strictus
 Petalostermum purpureum
 Phlox hoodii
 Polemonium caeruleum
 Solidago occidentalis
 Viola adunca
 Wyethia amplexicaulis

Greenleaf Manzanita
 Pointleaf Manzanita
 Big Sage
 Four Wing Saltbush
 Mountain Mahogany
 Rabbitbrush
 Cliff Spirea
 Shrubby Cinquefoil
 Slender Cinquefoil
 Chokecherry
 Antelope Bitterbrush
 Golden Current
 Gooseberry
 Shrub Rose
 Woods Rose
 Wild Red Raspberry
 Snowberry

Intermediate Wheat Grass
 Little Bluestem
 Silver Bluestem
 Smooth Brome
 Buffalo grass
 Orchard Grass
 Indian Ricegrass
 Timothy

Columbine
 Alpine Aster
 Lava Aster
 Harebell
 Oxeye Daisy
 Basin Rayless Daisy
 Rough Daisy
 Wild Strawberry
 Native Iris
 Blue Flax
 Prairie Star Flower
 Dry Ground Lupine
 Sticky Aster
 Mahonia
 Blackfoot Daisy
 Mountain Penstemon
 Royal Penstemon
 Purple Prairie Clover
 Cushion Phlox
 Jacob's Ladder
 Goldenrod
 Blue Violet
 Mule's Ears

APPROVED PLANT LIST FOR PRIVATE AREAS

The JPR-ALC has deemed the plants included in the following list to be compatible with the Job's Peak Ranch environment. Use of the following is highly recommended.

<u>Scientific Name</u>	<u>Common Name</u>
Trees:	
Acer ginnala	Amur Maple
Acer platanoides	Norway Maple
Betula papyrifera	Paper Birch
Betula platyphylla japonica	Japanese Birch
Celtis occidentalis	Western Hackberry
Cercis occidentalis	Western Redbud
Elaeagnus angustifolia	Russian Olive
Fraxinus lanecolata	Green Ash
Gleditsia triacanthos inermis	Honey Locust
Juniperus occidentalis	Western Juniper
Malus "Red Delicious"	Red Delicious Apple
Malus "Spring Snow"	Spring Snow Crabapple
Pinus contorta	Lodgepole Pine
Pinus densiflora	Japanese Red Pine
Pinus nigra	Austrian Pine
Populus fremontii	Fremont Cottonwood
Populus simonii	Column Poplar
Populus tremuloides	Quaking Aspen
Prunus cerasifera "Newport"	Newport Plum
Prunus fasciculata	Desert Peach
Quereus palustris	Pin Oak
Salix alba vitellina	Golden Willow
Shrubs:	
Amelanchier utahensis	Utah Serviceberry
Arctostaphylos nevadensis	Manzanita
Berberis thunbergii	Greenleaf Barberry
Caragana arborescens	Siberian Pea
Caryopteris clandonensis	Blue Mist Spirea
Cercocarpus ledifolius	Curleaf Mountain Mahogany
Chrysothamnus "Dwarf Blue"	Dwarf Blue Rabbitbrush
Cotoneaster divaricatus	Spreading Cotoneaster
Elaeagnus commutata	Silverberry
Eatlugia paradoxa	Apache Plume
Forsythia "Northern Sun"	Northern Sun Forsythia
Holodiscus dumosus	Rock Spirea
Juniperus monosperma	One-seed Juniper
Juniperus sabitta "Buffalo"	Buffalo Juniper
Lonicera tartarica "Arnold's Red"	Arnold's Red Honeysuckle
Mahonia haematocarpa	Desert Holly
Perovskia atriplicifolia	Russian Sage
Philadelphus microphyllus	Littleleaf Mockorange
Physocarpus monogynus	Mountain Ninebark
Pinus mugo mughus	Mugo Pine
Potentilla fruticosa	Native Yellow Potentilla
Prunus americana	Wild Plum
Prunus besseyi	Western Sand Cherry

Prunus cistena	Purpleleaf Sandcherry
Prunus tomentosa	Nanking Cherry
Prunus virginiana melanocarpa	Native Chokecherry
Rhus glabra	Smooth Sumac
Rhus trilobata	Three-Leaf Suman
Ribes aurium	Golden Current
Rosa woodsii	Woods Rose
Rubus idaeus "Heritage"	Heritage Red Raspberry
Spiraea X "Van Houttei"	Van Houtt Spiraea
Symphoricarpos occidentalis	Wolfberry
Symphoricarpos oreophilus	Mountain Snoberry
Syringa chinensis	Chinese Lilac
Syringa vulgaris	Common Lilac
Viburnum dentatum	Arrowwood Viburnum
Viburnum lentago	Nannyberry Viburnum
Bouteloua graeilis	Blue Grama
Bronius internus	Smooth Brome
Bucloe dactyloides	Buffalo Grass
Festuca arundinacea	Tall Fescue

Grasses:

Tectuca bonsai	Dwarf Fescue
Festuca ovina	Sheep Fescue
Festuca rubra	Creeping Red Fescue
Oryzopsis hymenoides	Indian Ricegrass
Poa pratensis	Kentucky Bluegrass

Groundcovers:

Antennaria parviflora	Pussytoes
Arctostaphylos uva ursi	Kinnikinnick
Artemisia schmidtiana	Silver Mound Sage
Cerastium tomentosum	Snow-in-Summer
Delosperma nubigenum	Hardy Ice Plant
Galium odorata	Sweet Woodruff
Glechoma hederaces	Ground Ivy
Helianthemum nummularium	Sunrose
Juniperus horizontalis	Creeping Juniper
Mahonia repens	Creeping Oregon Grape Holly
Phlox subulata	Creeping Phlox
Polygonum reynoutria	Fleece Flower
Potentilla verna nana	Creeping Potentilla
Ranunculus repens	Creeping Buttercup

Perennials:

Abronia fragrans	San Verbena
Agastache cana	Wild Hyssop
Andropogon gerardi	Big Bluestem
Anemone patens	Pasque Flower
Aquilegia caerulea	Mountain Columbine
Aquilegia elegantula	Columbine
Aster bigelovii	Purple Aster
Aster porteri	Porter's Aster
Baileya multiradiata	Desert Marigold
Belamcanda chinensis	Blackberry Lily

Castilleja integra	Indian Paintbrush
Centaurea montana	Perennial Bachelor Button
Coreopsis lanceolata	Coreopsis
Chrysanthemum leucanthemum	Oxeye Daisy
Commelina dianthifolia	Dayflower
Epilobium angustifolium	Fireweed
Erigeron speciosus	Showy Fleabane
Eschscholzia californica	Sulphur Flower
Gaillardia aristata	Firewheel
Gilia aggregata	Scarlet Gilia
Hesperocallis undulata	Desert Lily
Ipomoea leptophylla	Bush Morning Glory
Liatris punctata	Gayfeather
Linum perenne lewissii	Blue Flax
Mentzelia decapetala	Blazing Star
Oenothera caespitosa	Evening Primrose
Oenothera pallida	Evening Primrose
Papaver alpine	Alpine poppy
Penstemon barbatus	Scarlet Bugler
Penstemon strictus	Rocky Mountain Penstemon
Penstemon utahensis	Beard-Tongue
Petalostermum purpureum	Purple Prairie Clover
Phacelia campanularia	California Bluebells
Phlox nana	Santa Fe Phlox
Perennials: (cont.)	
Potentilla hippiana	Silverleaf Potentilla
Pulsatilla patens	Pasque flower
Ratibida columnaris	Prairie Coneflower
Rudbeckia hirta	Gloriosa Daisy
Salvia azurea grandiflora	Blue Sage
Salvia coccinea	Scarlet Sage
Santolina chamacyparissus	Lavender Cotton
Stanleya pinnata	Prince's Plume
Tradescantia occidentalis	Western Spiderwort
Verbena wrightii	Purple Verbena
Zinnia grandiflora	Prairie Zinnia

APPENDIX A

ARCHITECTURAL REVIEW CO UNCIL PLAN SUBMITTAL FORM CHECKLIST

1) Instructions for Architect or Designor:

- a) Review CC&R's for requirements
- b) Carefully read CC&R's, ALC Rules and Regulations, Supplemental CC&R's
- c) Check special setbacks, height limits, any special restrictions
- d) Fees

2) Owner/Design Team Information

- a) Lot number/APN
- b) Owner name, address, telephone number, e-mail address
- c) Architect name, address, telephone number, e-mail address
- d) Landscape architect name, address, telephone number, e-mail address
- e) Civil engineer name, address, telephone number, e-mail address

3) Site Plan

- a) Property lines
- b) Water meter (detail)
- c) Streets (site location)
- d) Driveway culvert detail
- e) Location of proposed residence, garage, or any other constructed structures
- f) Building Envelope
- g) Any easements (drainage or utility)
- h) Northpoint and drawing scale
- i) Protective Tree Fencing (detail)
- j) Site protective fencing at limits of disturbance
- k) Construction materials staging area
- l) Fire Hydrant (nearest to site, locate)
- m) ISDS-Denitrification (detailed sheet)
- n) Propane Tank Enclosure, location (detail)
- o) Snow storage (locate)
- p) Minimum defensible space (minimum 30' from structure)
- q) Location of all utilities, extensions to site, must follow driveway
- r) Drainage patterns, dry wells, rain gutters
- s) Finish floor elevations of structure(s)
- t) Spot elevations of adjoining street(s)
- u) Spot elevations of site improvements
- v) Existing vegetation and prominent natural features
- w) Maximum driveway grade
- x) Temporary erosion control
- y) Re-build V-ditch along frontage of lot

3) Grading Plan

- a) Existing contours (2' maximum interval, site plan)
- b) Proposed finished contours (2' maximum interval, site plan)
- c) Cut and fill slopes, retaining walls
- d) Accurately show relationship to existing and proposed topography (extend far enough to convey full effects of grading).

